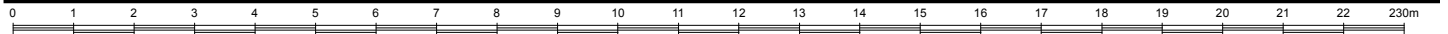


ROMAN TOWN



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 Ordnance Survey [100018056]

Scale - 1:1250  
 Time of plot: 13:13  
 Date of plot: 17/08/2016



## Rutland County Council

Catmose,  
 Oakham,  
 Rutland  
 LE15 6HP

Application:	2016/0618/FUL	ITEM 4	
Proposal:	First floor extension to form new bedroom, conversion of existing garage to form games room and single storey side extension to form new garage (Part retrospective application)		
Address:	Toll View, Ryhall Road, Great Casterton, Stamford, Rutland, PE9 4AR		
Applicant:	Mrs Zoe Marriott	Parish	Great Casterton
Agent:	N/A	Ward	Ryhall and Casterton
Reason for presenting to Committee:	Previous decision has been quashed by Judicial Review		
Date of Committee:	30 August 2016		

## EXECUTIVE SUMMARY

The proposed extensions to form a garage and first floor bedroom would not have a detrimental impact on neighbours' amenity. They would not be prominent from a public viewpoint, would have limited impact on any heritage asset and hence are acceptable.

## RECOMMENDATION

**APPROVAL**, subject to the following conditions:

1. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers AMPS01 11/15-11 PL3, AMPS01 11/15-12 PL2, AMPS01 11/15-14 PL2, AMPS01 11/15-15 PL2, AMPS01 11/15-16 PL2 and AMPS01 11/15-17 PL1.  
Reason - For the avoidance of doubt and in the interests of proper planning.
2. The external facing and roofing materials to be used shall match in colour, texture and form those used on the existing building.  
Reason – To ensure that the completed development has a harmonious relationship with the existing house and in the interests of the immediate amenities of the area.

Note to Applicant: You may require Scheduled Monument Consent from Historic England before work can commence on the first floor extension.

## Background

1. This is a part-retrospection application to regularise development already undertaken and seek permission for the remaining proposed works.
2. An earlier application (2016/0252/FUL) for the same development as now proposed was considered by the Case Officer in May 2016 and recommended for refusal for the following reason:

*The proposed first floor extension would result in an overextended continuous roofline when viewed from the east which would result in an incongruous addition to the dwelling. This would be visually intrusive within the street scene and given the bulk at the first floor over the existing garage would not be subservient to the main dwellinghouse. As such the proposal is contrary to adopted policy CS19 of the Rutland Core Strategy (2011), adopted policy SP15*

3. Unfortunately, on drafting the decision notice, the incorrect option was chosen from a drop down list in the planning software used by the Council which resulted in a full grant of planning permission being issued with the only 'conditions' on the document being the recommended reason for refusal. This established a planning permission without any enforceable conditions.
4. Following grant of permission work commenced on the construction of the new garage. Whilst the permission was issued in error, it remained valid and there was nothing unlawful in the applicant implementing the permission.
5. Subsequent to the grant of permission a neighbour sought to have the decision quashed by the Courts through an application for permission to judicially review the council's decision. The Local Planning Authority did not contest the Judicial Review and the decision was quashed on 29 July 2016. The effect of the quashing is that it is as if the permission never existed, accordingly notwithstanding the position prior to the quashing, the works done to date are now in breach of planning control. The applicant has submitted this duplicate application which has been looked at afresh by a different Case Officer in order to regularise the position.

## **Site & Surroundings**

6. The application site is situated on the eastern side of Ryhall Road approximately 90m from the junction with The Old Great North Road. It is one of a pair of dwellings built in the early 1990's and is of stone construction with a concrete tiled roof. Access to the plot is along a short section of private drive which also serves two other properties, Roman Meadow a similar modern house and The Granary; an older property converted from a barn by virtue of a 1988 permission. That property has a garage, approved in 1993, adjacent to the location of the proposed garage. Its main garden appears to be beyond its garage to the south/south west.
7. The house is basically L shaped with a single storey garage between the main house and Roman Meadow.
8. The Leicestershire and Rutland Historic Environment Records indicates that the property lies within the boundary of the Roman town of Great Casterton and immediately adjacent to the boundary of the Scheduled Ancient Monument (SAM). The eastern elevation of the application house in particular forms part of this boundary. As such any forthcoming approval may require Scheduled Monument Consent (SMC). An application has been made to Historic England for SMC to place scaffolding within the Scheduled Monument, which would actually be on land within the curtilage of the dwelling. The application states that scaffolding will not intrude into the ground but be supported on boards placed on the ground in the normal fashion. That application is likely to be determined in early September.
9. The site is just outside the Great Casterton Conservation Area, the adjacent dwellings of The Granary and Bridge Farm are within that Area.
10. The dwelling was deprived of any permitted development rights in its original planning permission in 1991, ref: 91/0384/OUT. The reason given for this restriction was to ensure that any future development on the site is controlled and would not result in any damage being caused to the existing archaeology. A site plan is at **APPENDIX 1**.

## Proposal

11. The proposal seeks permission for a first floor side extension over the existing garage, which would be converted into a games room, and a single storey side extension to provide a new attached double garage, the front corner of which is chamfered to give a width of 6.045m at the front and 7.65m at the rear. The garage would be 7m deep internally. Details are shown in the **APPENDICES 2-7**.

## Relevant Planning History

<b>Application</b>	<b>Description</b>	<b>Decision</b>
2016/0252/FUL	First floor extension and conversion of existing garage and erection of new garage to side of dwelling plus demolition of external store.	Approved 9 May 2016 – decision quashed 29 July 2016.

## Planning Guidance and Policy

### National Planning Policy Framework

Promotes sustainable development and good design

### The Rutland Core Strategy (2011)

Policy CS19 – Good Design

### Site Allocations and Policies DPD (2014)

SP5 - Built Development in Towns & Villages  
SP15 – Design & Amenity

Other Material Considerations

### Supplementary Planning Guidance – House Extensions (March 2015):

#### Appearance of extensions

The extension will be expected to respect its wider surroundings, (the street scene), in terms of its scale, position, design and building materials. Any extension in a conservation area must preserve or enhance the area and not detract from it. Similarly, an extension to a listed building or an extension viewed in relation to a listed building must be sympathetic to the listed building and its setting.

#### Scale/size

The extension is expected to respect the scale and character of the existing dwelling whose integrity should be maintained. Regardless of the size of dwelling, the extension should be a subordinate addition.

A two storey extension may receive planning permission providing there is no unacceptable loss of sunlight and daylight to adjoining properties

## Consultations

### 12. Historic England

- SMC is likely to be required for the development
- Application should contain an adequate assessment – LPA should be able to identify and assess the particular significance of any asset that may be affected in order to avoid or minimise conflict. Should take account of the desirability of sustaining and enhancing the significance of the asset.
- NPPF states great weight should be given to the assets conservation.
- LPA should also take any impact on non—designated assets (archaeology) into account.
- Recommend that Leicestershire Archaeology advice is followed in terms of archaeological remains

### 13. Great Casterton Parish Council

The Parish Council resolved to take a neutral approach to this proposal, so there is no support or objection.

### 14. Leicestershire County Council (Archaeology)

(In view of the fact that the garage has been built under an uncontrolled permission), there is clearly no impact caused to archaeological remains by first floor development, are there any services, landscaping or other works likely to occur? If not I have no further comment.

## Neighbour Representations

### 15. An objection has been received from agents acting for the owner of The Granary, setting out several concerns under 2 areas, identified as the design, scale and massing of the first floor extension and the impact on the setting of a designated heritage asset (the Scheduled Ancient Monument). The specific concerns can be summarised as follows:

- Previous ‘strong’ recommendation for refusal
- Extension will be prominent due to lack of visual screening from Ryhall Road
- Roof pitch and elevation incongruous within the street scene
- Garage close to The Granary Kitchen window
- First floor has an overbearing impact on The Granary
- NPPF states that Local planning Authorities should resist inappropriate development of residential gardens – for example where this would cause harm to the local area
- Contrary to design policy – extension greatly increases size of dwelling
- Should not have validated application the absence of a heritage impact assessment
- Scaffolding for the first floor extension will require boring into the SAM
- Assumes that the first floor extension will be built imminently so works should be stopped on site.

### 16. An objection has also been received from the occupier of Bridge Farm, a single storey dwelling to the south west of the site. This is on the grounds of loss of amenity by overlooking several windows into different rooms as well as the rear courtyard. Legal covenants have also been pointed out but these are not planning matters.

## Planning Assessment

17. The main issues are the impact on the amenity of neighbours and the wider area, including the character and appearance of the adjacent conservation area. There is a statutory duty to ensure that a proposal does not have a detrimental impact on the character of the conservation area, even if the development itself is outside.

### Policy

18. Policy CS19 of the adopted Core Strategy (2011) states that all new development will be expected to contribute positively to local distinctiveness and sense of place, being appropriate and sympathetic to its setting in terms of scale, height, density, layout, appearance and materials, and should not be visually intrusive.
19. Furthermore, Policy SP15 of the adopted Site Allocations and Development Plan Document (2014) requires that development must be appropriate to the local context of the site and to the surrounding landscape and/or streetscape character (in terms of density, scale, form, massing and height) and to the amenities of adjacent residents.
20. The Adopted SPD on House Extensions states that extensions should ideally be subservient to the original house; that is partly to avoid terracing effects with adjoining property.

### Conversion of existing garage

21. The conversion of the existing garage into habitable accommodation would normally be permitted development but is not in this case due to the condition on the original permission. There would be no increase in the size of the dwelling and the use on the ground floor would be domestic in line with the remainder of the property. This is consistent with the policy and the previous case officers findings. This element would have no impact on any heritage assets or any neighbours and is acceptable.

### Proposed garage extension

22. The garage design has a shallow pitched roof given the depth of the structure. This might otherwise have resulted in an incongruous feature however, given the very limited public views and the fact that it will not be visually intrusive within the street scene or the Conservation Area, this would not be a sufficient justification for refusal.
23. The garage would be located adjacent to the garage of The Granary (which is higher than the proposal), and which is located on the other side of the boundary fence. It would not have any detrimental impact on the Granary itself in terms of loss of light or over-dominance. Whilst visible from The Granary, this is not a reason for refusal. The new garage has a neutral impact on heritage assets and does not harm the amenity of neighbours, consistent with the policies set out above and is thereby acceptable.

### Proposed first floor extension

24. The proposed first floor extension would be sited over the existing garage but would have a narrower plan form than the ground floor element, consistent with the existing upper floor. This would form one continuous extension to the existing two storey gable. It should be noted that this existing gable is lower than the ridge of the main body of the house, thereby already giving a break in the roofline, providing an element of subservience.
25. The existing single storey garage forms a break between the application property and the adjacent house Roman Meadows. Whilst the SPD on House Extensions seeks to

make extensions subservient, normally by dropping the ridge line and making the extension narrower than the existing, that is somewhat impractical in this case due to the already narrower section of the extension, which matches the existing first floor accommodation. Roman Meadows already has a lower section adjacent to the boundary with the application site which would continue to retain a break between the two and avoid a terracing effect, which is part of the rationale for the SPD. The higher ridge on the main part of the house means there is already a step in the roofline.

26. There are limited public views of the first floor extension from Ryhall Road, both along the private driveway and just to the north of the site due to trees on the field boundary (particularly in the summer). Views from the south are largely obscured by existing buildings and vegetation.
27. From further north, there is a view back to the north (east) elevation of the property, but levels mean that the lower parts of these dwellings are not readily visible as they are partly screened by vegetation and landform. The new ridge line would be seen against a backdrop of trees on the southern boundary of The Granary and would not be prominent in normal views when driving southwards along Ryhall Road. The lower part of Roman Meadows also helps create a break as set out above. This element of Roman Meadows appears as an extension but it was part of the original design. The extension is not particularly bulky.
28. The 1991 report to Committee on the original application for these dwellings noted that the site contained farm buildings and that the development would improve the site from its present untidy farmyard appearance.
29. Any overlooking of The Granary and Bridge Farm would be over distances of around 20 and 25 metres respectively. The main part of the garden to The Granary is to the south/south west, well away from the proposed first floor extension. Bridge Farm is partly screened from the application site by high boundary hedging.
30. The proposed accommodation would serve additional bedrooms, therefore any overlooking from these windows would be less than that from other habitable rooms and would be no different to the first floor windows at the front of Roman Meadows. Bridge Farm appears to have its main private garden on the south west side of the property and is hence screened from the development by the dwelling itself. Given the distances above and the layout of adjacent property, any overlooking of these properties would be very limited. The proposal thereby complies with Policy SP15. Whilst there is a minor conflict with the SPD, this is not considered, in the circumstances set out above, to be sufficient to refuse the application.
31. It should be noted that the previous Case Officers' recommendation for refusal did not include any identified harm to the amenities of neighbours by reason of overlooking, overshadowing, loss of privacy etc.

#### Other matters

32. The application site is within the boundary of the Roman town of Great Casterton and immediately adjacent to the boundary of the statutorily protected Scheduled Monument. As such in determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected in line with paragraph 128 of the National Planning Policy Framework. It is noted that this information has not been provided. However it is considered that any detriment to the setting of the Scheduled Ancient Monument or the character of the Conservation Area was likely to have occurred at the grant of the original permission for this dwelling.

33. The report to Committee on the original 1991 application noted that the Leicestershire Archaeological Section requested that a pre-determination archaeological assessment be carried out. This was done and the report notes that the assessment found that there were areas of archaeological sensitivity and also areas in which minimal archaeological damage would be caused by any development but that the construction process should be subject to archaeological monitoring in order to record any features and finds that may have been revealed during development. Revised plans were submitted as a result of those findings and were acceptable to the Archaeological consultant. A standard archaeological condition was imposed on the permission.
34. Whilst an historic impact assessment would have been of limited use in this case, it would be of more help to Historic England in making its decision on the application for SMC. The development is for very straightforward house extensions, outside the Conservation Area. It is only the abutting SAM that has led to concerns about the impact, but this is limited to scaffolding on boards on the ground within the curtilage of the dwelling. The extensions themselves do not have any more significant impact on the SAM or the Conservation Area than the existing dwellings in this small enclave. Weighing this issue in the balance it is unlikely that there would be any harm to the SAM as a result of this development. It will be up to Historic England to make that judgement, without which the first floor development could not proceed. Similarly there is no harm to the character and appearance of the Conservation Area.

Comments on specific concerns from the occupier of The Granary

<b>Concern</b>	<b>Officer Comment</b>
<ul style="list-style-type: none"> <li>• Previous 'strong' recommendation for refusal</li> </ul>	<p>Whilst the recommendation was for refusal from a previous case officer, there was no particular weight attributed to it. Another Case Officer is entitled to come to a different conclusion, much as an Inspector on an appeal would do and as a Committee is entitled to do. The recommended reason for refusal did not include reference to impact on neighbours amenity.</p>
<ul style="list-style-type: none"> <li>• Extension will be prominent due to lack of visual screening from Ryhall Road</li> </ul>	<p>There is screening in close proximity to the site on Ryhall Road from both north and south. Southerly views are also screened by buildings. The views from further north on Ryhall Road are limited as described elsewhere in the report.</p>
<ul style="list-style-type: none"> <li>• Roof pitch and elevation incongruous within the street scene</li> </ul>	<p>The roof pitch (of the first floor element) and detailing is identical to the existing roof so is in keeping with the character of the original house. The garage is not prominent at all in the public realm.</p>
<ul style="list-style-type: none"> <li>• Garage close to The Granary Kitchen window</li> </ul>	<p>The Granary has a higher garage immediately adjacent to the boundary where the new garage is under construction. The windows on The Granary itself are some way from the garage, which is beyond a high fence. It is not considered that this has an adverse impact on The Granary.</p>



<ul style="list-style-type: none"> <li>• First floor has an overbearing impact on The Granary</li> </ul>	<p>The first floor extension would be approximately 20m from the first floor windows in The Granary and located on the north east side of that property. The potential for over dominance and loss of light is therefore minimal. The Council has no adopted standards for distances between windows and the windows in the first floor extension would not overlook the private rear garden area of The Granary which is located beyond the garage to the south west.</p>
<ul style="list-style-type: none"> <li>• NPPF states that Local planning Authorities should resist inappropriate development of residential gardens – for example where this would cause harm to the local area</li> </ul>	<p>This extract from the NPPF relates to building dwellings in rear gardens (known as ‘garden grabbing’) and is not relevant to this proposal</p>
<ul style="list-style-type: none"> <li>• Contrary to design policy – extension greatly increases size of dwelling</li> </ul>	<p>The extensions are proportionate to the original house. The new garage is not prominent in public views. The first floor element matches the existing roof pitch, gable profile and materials. The only issue is whether the first floor extension should be subservient to the already subservient wing that it extends. Due to the limited public impact and relationship with Roman Meadows, described elsewhere, this is considered acceptable.</p>
<ul style="list-style-type: none"> <li>• Should not have validated application the absence of a heritage impact assessment</li> </ul>	<p>The national validating guidelines do not require such information to make an application valid. In its absence the LPA is entitled to make up its own mind on the impact.</p>
<ul style="list-style-type: none"> <li>• Scaffolding for the first floor extension will require boring into the SAM</li> </ul>	<p>The applicant has confirmed in their application (to Historic England) for SMC that the scaffolding will sit on boarding on the existing exterior ground within their curtilage. It is not usual for scaffolding poles to bore into the ground, as these would be unstable. This in any event is a matter for Historic England.</p>
<ul style="list-style-type: none"> <li>• Assumes that the first floor extension will be built imminently so works should be stopped on site.</li> </ul>	<p>This is speculation - it does not impact on consideration of the merits of the application. The garage was being built under an extant permission but that has now been quashed. A stop notice would not normally be served whilst an application is being considered, only if there was immediate harm and the application was unlikely to be approved.</p>

	The LPA may be liable for costs if permission was subsequently granted. Enforcing the SMC is a matter for Historic England.
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Conclusion

35. Whilst the previous application was recommended for refusal it was an on balance case, hinging only on the first floor element. A new Case Officer has re-assessed the proposal both in terms of impact on neighbours and visually from further afield. It is concluded that the proposed extensions would not have a detrimental impact on neighbours' amenity and the first floor extension in particular is narrow and not prominent from public view points. The proposals preserve the character and appearance of the Conservation Area and comply with the development plan polices set out above.

DO NOT SCALE FROM THIS DRAWING

# SITE PLAN

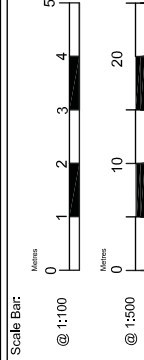
**NOTES:**

1. NEW FIRST FLOOR EXTENSION OVER EXISTING GARAGE AND CONVERSION OF GARAGE TO FURNI (HABITABLE SPACE) ON GROUND FLOOR.
2. NO CHANGES TO EXTERNAL LANDSCAPE IN GARDEN.
3. NO NEW BOUNDARY TREATMENT BUT NEW FENCING SECURING REAR GARDEN AREA.
4. GARAGE TO BE LOCATED NO CLOSER THAN 300mm FROM THE BOUNDARY FENCE.

2016/0618/FUL  
rec'd 27/06/2016



1:500



1. THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAILS SHEETS AND SPECIFICATIONS.
2. ALL ELECTRICAL WORK TO BE CARRIED OUT BY APPROVED ELECTRICIAN (SIR-REGISTERED) AND ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE IET BS7671.
3. DAMAGE RISKS NOT SURVEYED, THESE ARE TO BE DETERMINED AND EXPOSED IF NECESSARY BY THE CONTRACTOR.
4. ANY WORK INVOLVING THE REMOVAL OF THE EXISTING GAS APPLIANCES IS TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER/CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
6. THE CLIENT SHOULD CONSULT A SUITABLE SOLICITOR FOR ANY LEGAL MATTERS.
7. DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKING CONDITIONS.
9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL PERMITS TO WORK ON SITE.
10. THE CONSTRUCTION DESIGN AND SPECIFICATION (CDS) DOCUMENT APPLY TO THIS PROJECT.

No.	REVISIONS	DATE	BY
PL3	Revision to proposed site plan - garage, submission	18/03/16	
PL2	Revision to proposed site plan - garden, submission	02/03/16	
PL1	Proposed site plan for planning submission		

**MDS ARCHITECTURAL**  
10700 BRIDGE RD, STROUD, GLOS  
01452 874444  
info@mdsarchitectural.co.uk

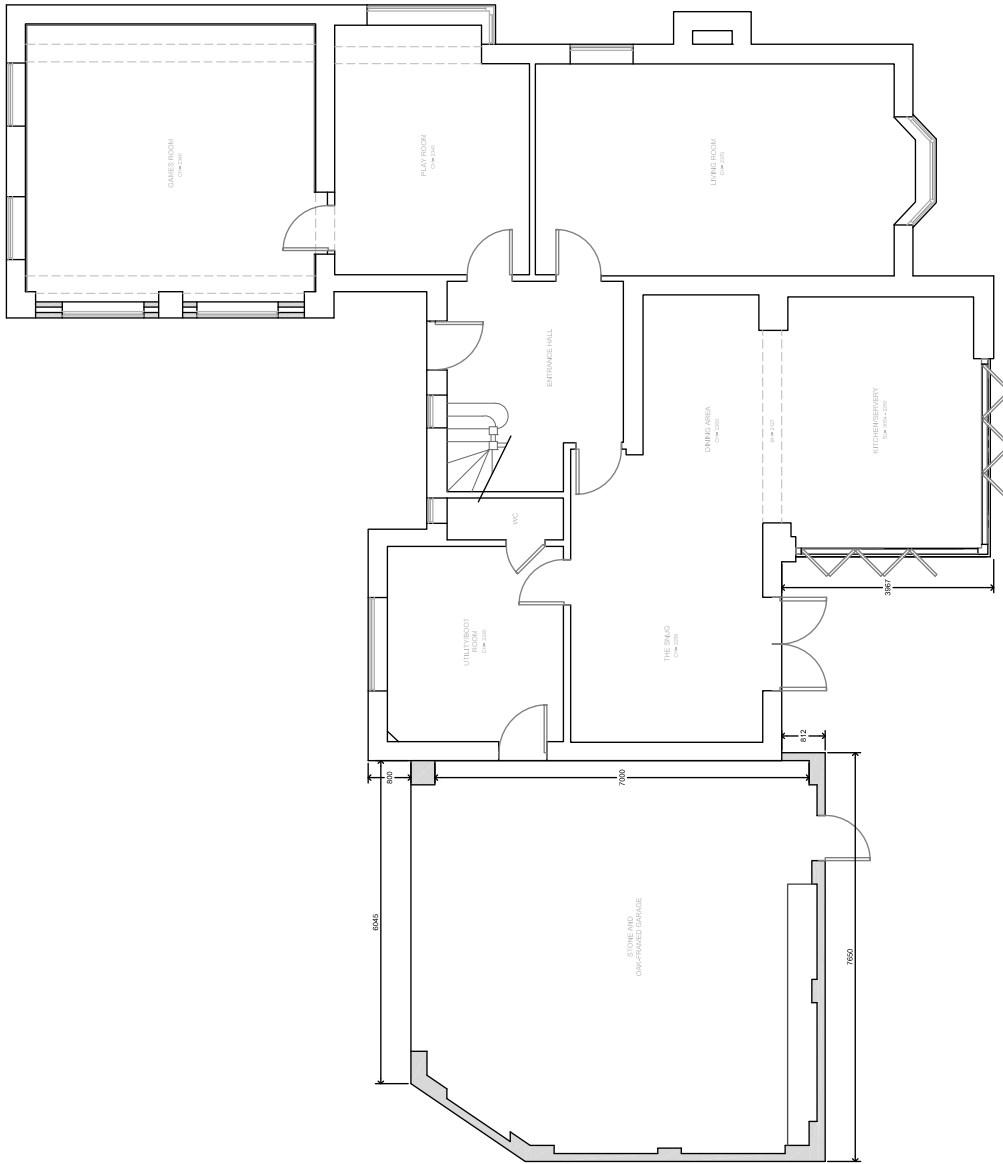
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CHECKED	-
PLANNING REF.	-
BC REF	-

PROJECT: Toll View  
Ryhall Road  
Great Cossington  
Stamford  
PE9 4AR

DRAWING: AMPS/01 11/15-10  
REVISION: PL3  
Proposed Site Plan

Planning Submission

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2016/0618 / FUL  
rec'd 27/06/2016

# Proposed Ground Floor

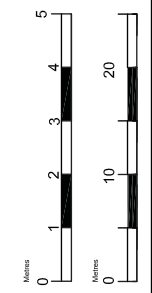
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**PROJECT:** Toll View  
Ryhall Road  
Great Casterton  
Stamford  
PE34AR

**DRAWING:** AMPS01 11/15-11  
Proposed Ground Floor  
REVISION: PL3

SCALES:	1:100 @ A3 or Shown
DATE:	Feb 2016
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CHECKED:	-
PLANNING REF:	-
BC REF:	-

Planning  
Submission



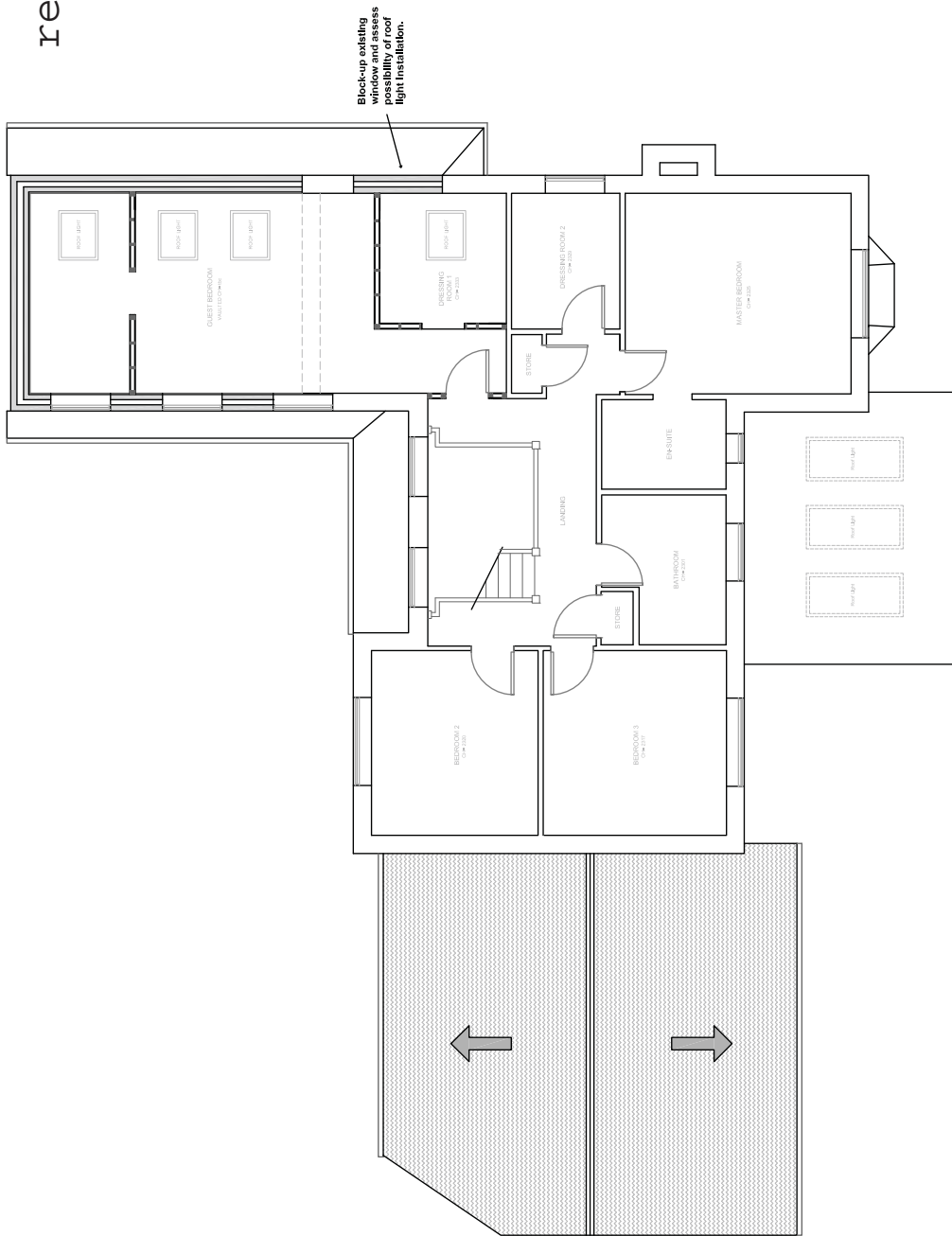
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4. ANY WORK INVOLVING THE REMOVAL OF THE EXISTING GAS APPLIANCES IS TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER/CONTRACTOR.
5. THE CLIENT SHOULD CONSULT A SUITABLE CONSULTANT FOR ANY LEGAL MATTERS.
6. DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
7. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL DRAWING WORKS.
8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL RISERS TO WORK ON SITE.
9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL RISERS TO WORK ON SITE.

No.	REVISIONS	DATE	BY
PL3	REV - proposed layout and fitment to the garage.	18/03/16	
PL2	REV - proposed layout and fitment to the garage.	02/03/16	
PL1	PROPOSED LAYOUT AND FITMENT TO THE GARAGE.		

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2016/0618/FUL  
rec'd 27/06/2016



# Proposed First Floor

## 1:100

**PROJECT:** Toll View  
Ryhall Road  
Great Casterton  
Stamford  
PE3 4AR

**MDS ARCHITECTURAL**  
01780 808400 m. 01780 808412  
info@mdsarchitectural.co.uk

**DRAWING:** AMPS/01 11/15-12  
Proposed First Floor

**REVISION:** PL2

SCALES:	1:100 @ A3 or Shown
DATE:	Feb 2016
DESIGN:	-
CHECKED:	-
PLANNING REF.:	-
BC REF.:	-

Planning  
Submission

**Scale Bar:**

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Metres

@ 1:500  
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Metres

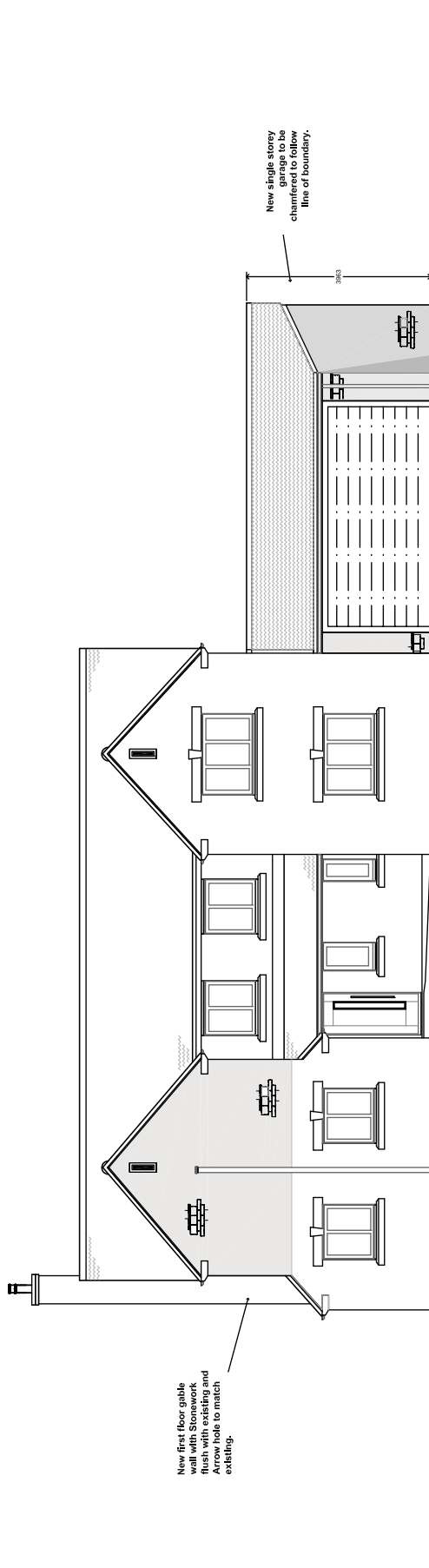
- THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS AND NOTES.
- ALL ELECTRICAL WORK TO BE CARRIED OUT BY APPROVED ELECTRICIAN (SIR-REGISTERED).
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS.
- ANY WORK REQUIRING THE REMOVAL OR THE INSTALLATION OF GAS APPLIANCES IS TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER/CONTRACTOR.
- THE CLIENT SHOULD CONSULT A SUITABLE SOLICITOR FOR ANY LEGAL MATTERS.
- DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL DRAWING WORKS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL PERMITS TO WORK ON SITE.
- THE CONTRACTOR DESIGN AND ANY SUBMITTED DESIGNATIONS APPLY TO THIS PROJECT.

No.	REVISIONS	DATE	BY
1	REVISED DRAWING FOR APPROVAL	12/03/16	
2	PROPOSED REVISIONS		

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2016/0618/FUL  
 rec'd 27/06/2016

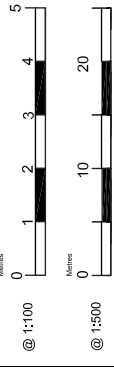


# NORTH ELEVATION (front elevation)

1:100

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2. ALL ELECTRICAL WORK TO BE CARRIED OUT BY APPROVED ELECTRICIAN (EOR - MEMBER REGISTERED).
3. DRAINAGE RISERS NOT SUBJECT, THESE ARE TO BE DETERMINED AND EXPOSED IF NECESSARY BY THE CONTRACTOR.
4. ANY WORK ENTAILING THE REMOVAL OF THE EXISTING GAS APPLIANCES IS TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER/CONTRACTOR.
5. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
6. THE CLIENT SHOULD CONSULT A SUITABLE SOLICITOR FOR ANY LEGAL MATTERS.
7. DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL DRAWING WORK.
9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL PERMITS TO WORK ON SITE.
10. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO THIS PROJECT.

Scale Bar:



SCALES	1:100 @ A3 or Shown
DATE	Feb 2016
DRAWN	-
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PLANNING REF.	-
BC REF	-

MDS ARCHITECTURAL  
 6-7 THE SQUARE, W. ST. ST. 1000112  
 01273 502200

PROJECT: Toll View  
 Ryhall Road  
 Great Casterton  
 Stamford  
 PE9 4AR

DRAWING	AMPS/01 11/15-14	REVISION	PL2
Proposed elevations - North			

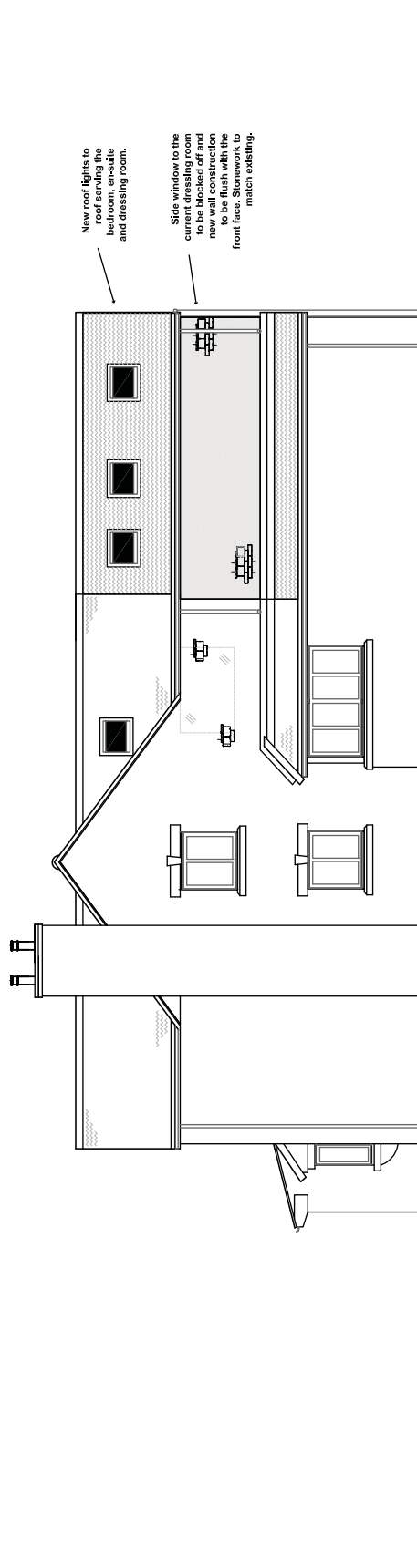
Planning  
 Submission

REVISIONS

No	DESCRIPTION	DATE	BY
P2	Rev. submitted to planning for planning submission.	11/03/16	
P1	Proposed elevations are provided for planning submission.	02/03/16	

DO NOT SCALE FROM THIS DRAWING

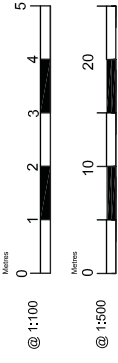
2016/0618/FUL  
rec'd 27/06/2016




# EAST ELEVATION (side)

1:100

Scale Bar:



SCALES	1:100 @ A3 or Shown
DATE	Feb 2016
DRAWN	-
CHECKED	-
PLANNING REF.	-
BC REF	-



**MDS ARCHITECTURAL**  
6 730 53442 • 01707 00812  
41-42 Kingsway London W2 7AF

**PROJECT:** Toll View  
Ryhall Road  
Great Casterton  
Stamford  
PE3 4AR

**DRAWING:** AMPS01 11/15-17  
Proposed elevations - East

**REVISION:** PL1

## Planning Submission

- THE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS AND NOTES.
- ALL ELECTRICAL WORK TO BE CARRIED OUT BY APPROVED ELECTRICIAN (S) - (NICEIC REGISTERED).
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL APPLICABLE BUILDING REGULATIONS. THESE ARE TO BE DETERMINED AND EXPOSED IF NECESSARY BY THE CONTRACTOR.
- ANY WORK REQUIRING THE REMOVAL OF THE EXISTING GAS APPLIANCES IS TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER/CONTRACTOR.
- THE CLIENT SHOULD CONSULT A SUITABLE SOLICITOR FOR ANY LEGAL MATTERS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS ON SITE.
- DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL DRAWING WORKS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKS TO BE CARRIED OUT ON SITE.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKS TO BE CARRIED OUT ON SITE.

REVISIONS	
No.	DESCRIPTION
PL1	Proposed elevations and elevations for planning submission.
	DATE: 12/03/16
	BY:

DO NOT SCALE FROM THIS DRAWING

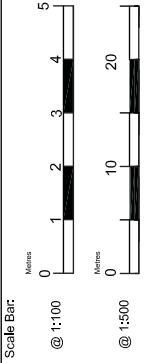
2016/0618/FUL

rec'd 27/06/2016



# SOUTH ELEVATION (rear elevation)

1:100



1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAILS SHEETS AND SPECIFICATIONS.
2. ALL ELECTRICAL WORK TO BE CARRIED OUT BY APPROVED ELECTRICIAN (SA-REGISTERED).
3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS.
4. ANY WORK INVOLVING THE REMOVAL OF THE EXISTING GAS SUPPLIES IS TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER/CONTRACTOR.
5. THE CLIENT SHOULD CONSULT A SUITABLE SOLICITOR FOR ANY LEGAL MATTERS.
6. DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
7. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL DRAWING ERRORS.
8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL PERMITS TO WORK ON SITE.
9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL NEIGHBOURHOOD NOTICES.
10. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL NEIGHBOURHOOD NOTICES.

No.	DATE	BY	REVISIONS
1	12/03/16		REVISED DRAWING TO REFLECT CHANGES TO THE DRAWING.

MDS ARCHITECTURAL  
6-7 THE SQUARE, 10, STONEY STREET, STAMFORD  
LE8 5AR

PROJECT: Toll View  
Ryhall Road  
Great Casterton  
Stamford  
LE8 5AR

SCALES	1:100 @ A3 or Shown
DATE	Feb 2016
DRAWN	-
CHECKED	-
PLANNING REF.	-
BC REF	-

DRAWING: AMPS/01 11/15-16  
Proposed elevations - South

REVISION: PL2

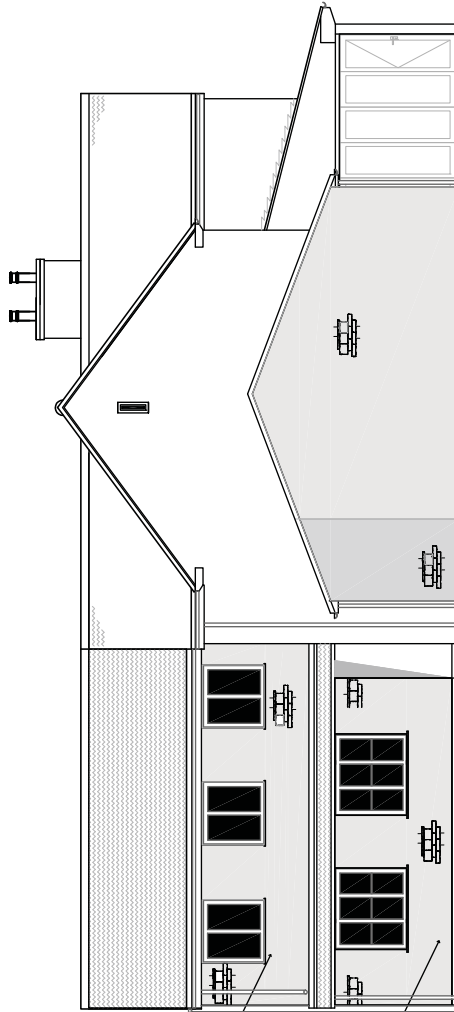
Planning  
Submission



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2016/0618/FUL

rec'd 27/06/2016



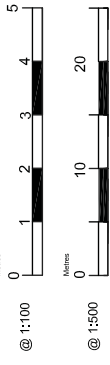
First floor wall inset from from ground floor in line with existing first floor. Stonework to match existing.

Remove stone pillars and build new wall construction with the front face. Stonework to match existing.

WEST ELEVATION (side)

1:100

Scale Bar:



1. THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAILS SHEETS AND SPECIFICATIONS.
2. ALL ELECTRICAL WORK TO BE CARRIED OUT BY APPROVED ELECTRICIAN (S) - (NICEIC REGISTERED).
3. ALL PLUMBING WORK TO BE CARRIED OUT BY APPROVED PLUMBER (S) - (REGISTERED).
4. ALL WORK MUST ALLOW FOR THE REMOVAL OF THE EXISTING GAS PIPING TO BE CARRIED OUT BY GAS SAFE REGISTERED PLUMBER CONTRACTOR.
5. THE CLIENT SHOULD CONSULT A SUITABLE SOLICITOR FOR ANY LEGAL MATTERS.
6. THE DRAWINGS ARE FOR SUGGESTIVE PURPOSES AND ALL WORK IS SUBJECT TO CONTRACTOR DESIGN.
7. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKING CONDITIONS.
8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKING CONDITIONS.
9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKING CONDITIONS.
10. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL WORKING CONDITIONS.

No	DESCRIPTION	DATE	BY
1	REVISED DRAWING FOR APPROVAL	12/03/16	

REVISIONS

SCALES	1:100 @ A3 or Shown
DATE	Feb 2016
DRAWN	-
CHECKED	-
PLANNING REF.	-
BC REF	-

PROJECT: Toll View  
Ryhall Road  
Great Casterton  
Stamford  
PE8 4AR

**MDS ARCHITECTURAL**  
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DRAWING: AMPS/01 11/15-15  
Proposed elevations - West

REVISION: PL2

Planning Submission